



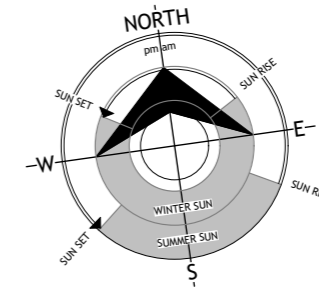
Tasman District Council

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**PLANNING APPROVED**

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3/05/2023



TASMAN DISTRICT COUNCIL ZONE:	RESIDENTIAL
MAX HEIGHT:	5m SITES <400m <sup>2</sup> (ROLLING HEIGHT) 7.5m SITES >400m <sup>2</sup> (ROLLING HEIGHT)
DAYLIGHT OVER:	2.5m @ 25-45° (GABLE EXCLUSION 1.5m HIGH, 2.5m <sup>2</sup> )
SETBACK:	4.5m FRONT (DWELLING) 5.5m FRONT (GARAGE DOOR) 1 @ 1.5m SIDE/REAR REST @ 3.0m SIDE/REAR 1.0m TO ACCESS LOT BOUNDARY 1.5m ALL ACCESSORY BUILDINGS (INCL. ATTACHED GARAGES)
LIVING COURT:	60m <sup>2</sup> CONTAINING 6m CIRCLE READILY ACCESSIBLE FROM LIVING AND RECEIVES SUNSHINE MID-WINTER REQUIRED
SERVICE COURT:	N/A
BUILDING COVERAGE:	33% MAX NET AREA (EXCL. EAVES/SPOUTING <1.0m WIDE) RICHMOND, MOTUEKA, WAKEFIELD, BRIGHTWATER: 40% MAX WHERE SOL DETENTION IS PROVIDED PER 1m <sup>2</sup> OVER 33%
SITE COVERAGE:	70% MAX (INCL. DECKS, PAVING, PART OF EAVES >0.6m WIDE) RICHMOND, MOTUEKA, WAKEFIELD, BRIGHTWATER

<b>EROSION &amp; SEDIMENT CONTROL:</b>	
<b>LEGEND:</b>	
FILTER SOCK UNDER SITE FENCING	-----
STABILISED ENTRANCE-WAY	▨
<b>NOTE:</b>	
- EROSION AND SEDIMENT CONTROL IS TO BE IN ACCORDANCE WITH THE 'MANAGING SEDIMENT POLLUTION' DOCUMENT AND RULE 4C.2.2	
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.	
- SILT FENCES ARE TO BE MONITORED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL	
- NO WASH DOWN FROM EXPOSED AGGREGATE CONCRETE DRIVEWAY TO ENTER STORMWATER DRAINS. TO BE CONTAINED AND REMOVED FROM SITE	

**NOTE: HAZARD MANAGEMENT TEMPORARY FENCING**

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AS A WORK SITE MAKES A SAFETY BARRIER NECESSARY, A BARRIER COMPLYING WITH TABLE 1, NZBC F5/A51 IS AN ACCEPTABLE SOLUTION

**PAVING FINISH NOTES:**

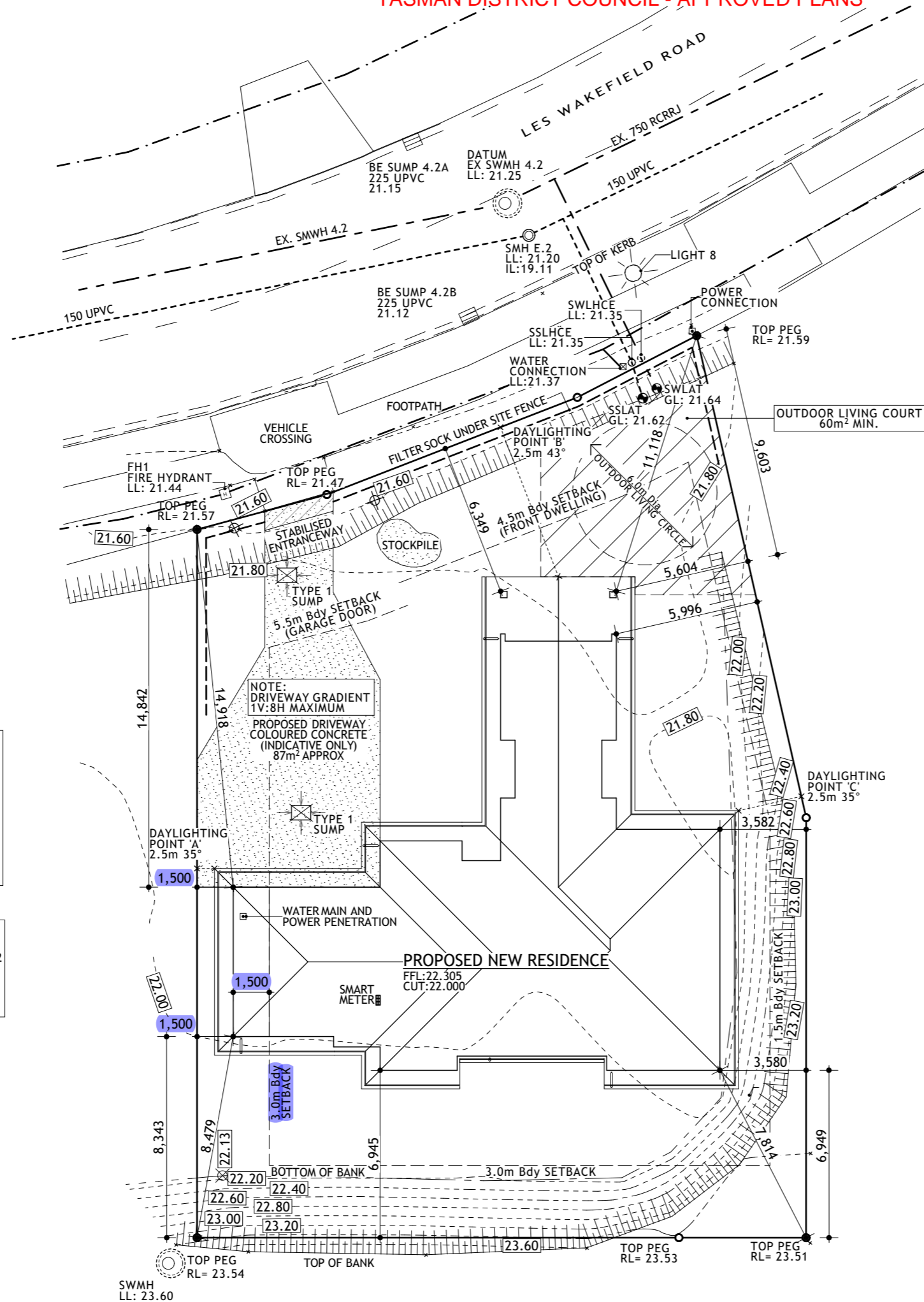
- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 190mm.

<b>LOT 17 DP 579552</b>	
800m <sup>2</sup>	
WIND ZONE	HIGH
EARTHQUAKE ZONE	2
CORROSION ZONE	C
SNOW LOADING	N3
BUILDING FOOTPRINT:	217.80m <sup>2</sup>
BUILDING COVERAGE:	27.22% (33% MAX)
SITE COVERAGE AREA:	308.15m <sup>2</sup>
SITE COVERAGE:	38.52% (70% MAX)

<b>WIND ZONE CALCULATION</b>	
REF:	NZS3604:2011 Cl.5.2
WIND REGION:	A
LEE ZONE:	NO
GROUND ROUGHNESS:	OPEN
SITE EXPOSURE:	EXPOSED
TOPOGRAPHICAL CLASS:	T1

**NOTE:**

- HEIGHT DATUM = NZVD2016
- ORIGIN OF HEIGHTS = SWMH - ASSET ID
- SWT-55090 (LID RL = 21.25m)
- CONTOUR INTERVAL = 0.2m



Client: MILESTONE HOMES  
 LOT 17 DP 579552  
 65 LES WAKEFIELD ROAD, MAPUA, NELSON

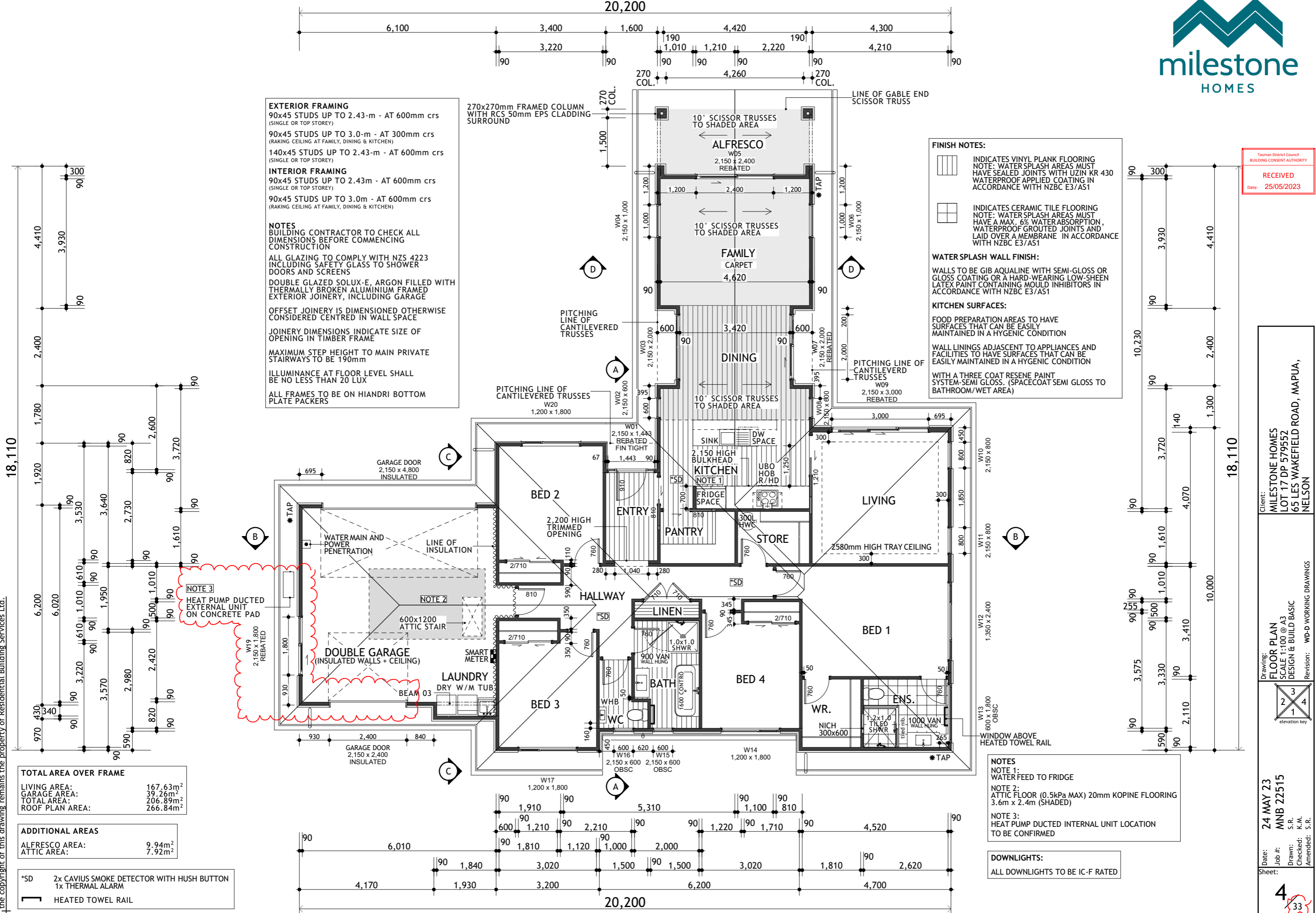
Drawing: SITE PLAN  
 SCALE 1:200 @ A3  
 Revision: WD-C WORKING DRAWINGS

3	4
2	1

Date: 20 APR 23  
 Job #: MNB 22515  
 Drawn: S.R.  
 Checked: K.M.  
 Amended: S.R.

Sheet: 2/32

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**EXTERIOR FRAMING**  
 90x45 STUDS UP TO 2.43-m - AT 600mm crs (SINGLE OR TOP STOREY)  
 90x45 STUDS UP TO 3.0-m - AT 300mm crs (RAKING CEILING AT FAMILY, DINING & KITCHEN)  
 140x45 STUDS UP TO 2.43-m - AT 600mm crs (SINGLE OR TOP STOREY)

**INTERIOR FRAMING**  
 90x45 STUDS UP TO 2.43-m - AT 600mm crs (SINGLE OR TOP STOREY)  
 90x45 STUDS UP TO 3.0-m - AT 600mm crs (RAKING CEILING AT FAMILY, DINING & KITCHEN)

**NOTES**  
 BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION  
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS AND SCREENS  
 DOUBLE GLAZED SOLUX-E, ARGON FILLED WITH THERMALLY BROKEN ALUMINIUM FRAMED EXTERIOR JOINERY, INCLUDING GARAGE  
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE  
 JOINERY DIMENSIONS INDICATE SIZE OF OPENING IN TIMBER FRAME  
 MAXIMUM STEP HEIGHT TO MAIN PRIVATE STAIRWAYS TO BE 190mm  
 ILLUMINANCE AT FLOOR LEVEL SHALL BE NO LESS THAN 20 LUX  
 ALL FRAMES TO BE ON HIANDRI BOTTOM PLATE PACKERS

**FINISH NOTES:**

INDICATES VINYL PLANK FLOORING  
 NOTE: WATER SPLASH AREAS MUST HAVE SEALED JOINTS WITH UZIN KR 430 WATERPROOF APPLIED COATING IN ACCORDANCE WITH NZBC E3/AS1

INDICATES CERAMIC TILE FLOORING  
 NOTE: WATER SPLASH AREAS MUST HAVE A MAX. 6% WATER ABSORPTION, WATERPROOF GROUTED JOINTS AND LAID OVER A MEMBRANE IN ACCORDANCE WITH NZBC E3/AS1

**WATER SPLASH WALL FINISH:**  
 WALLS TO BE GIB AQUALINE WITH SEMI-GLOSS OR GLOSS COATING OR A HARD-WEARING LOW-SHEEN LATEX PAINT CONTAINING MOULD INHIBITORS IN ACCORDANCE WITH NZBC E3/AS1

**KITCHEN SURFACES:**  
 FOOD PREPARATION AREAS TO HAVE SURFACES THAT CAN BE EASILY MAINTAINED IN A HYGENIC CONDITION  
 WALL LININGS ADJASCENT TO APPLIANCES AND FACILITIES TO HAVE SURFACES THAT CAN BE EASILY MAINTAINED IN A HYGENIC CONDITION  
 WITH A THREE COAT RESENE PAINT SYSTEM-SEMI GLOSS. (SPACECOAT SEMI GLOSS TO BATHROOM/WET AREA)

Tasman District Council  
 BUILDING CONSENT AUTHORITY

RECEIVED  
 Date: 25/05/2023

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**TOTAL AREA OVER FRAME**

LIVING AREA:	167.63m <sup>2</sup>
GARAGE AREA:	39.26m <sup>2</sup>
TOTAL AREA:	206.89m <sup>2</sup>
ROOF PLAN AREA:	266.84m <sup>2</sup>

**ADDITIONAL AREAS**

ALFRESCO AREA:	9.94m <sup>2</sup>
ATTIC AREA:	7.92m <sup>2</sup>

\*SD 2x CAVIUS SMOKE DETECTOR WITH HUSH BUTTON  
 1x THERMAL ALARM

HEATED TOWEL RAIL

**NOTES**  
 NOTE 1: WATER FEED TO FRIDGE  
 NOTE 2: ATTIC FLOOR (0.5kPa MAX) 20mm KOPINE FLOORING 3.6m x 2.4m (SHADED)  
 NOTE 3: HEAT PUMP DUCTED INTERNAL UNIT LOCATION TO BE CONFIRMED

**DOWNLIGHTS:**  
 ALL DOWNLIGHTS TO BE IC-F RATED

Client: MILESTONE HOMES  
 LOT 17 DP 579552  
 65 LES WAKEFIELD ROAD, MAPUA,  
 NELSON

Drawing: FLOOR PLAN  
 SCALE 1:100 @ A3  
 DESIGN & BUILD BASIC

Revision: WD-D WORKING DRAWINGS

3	4
2	1

24 MAY 23  
 Date: 24 MAY 23  
 Job #: MNB 22515  
 Drawn: S.R.  
 Checked: K.M.  
 Amended: S.R.

Sheet: 4

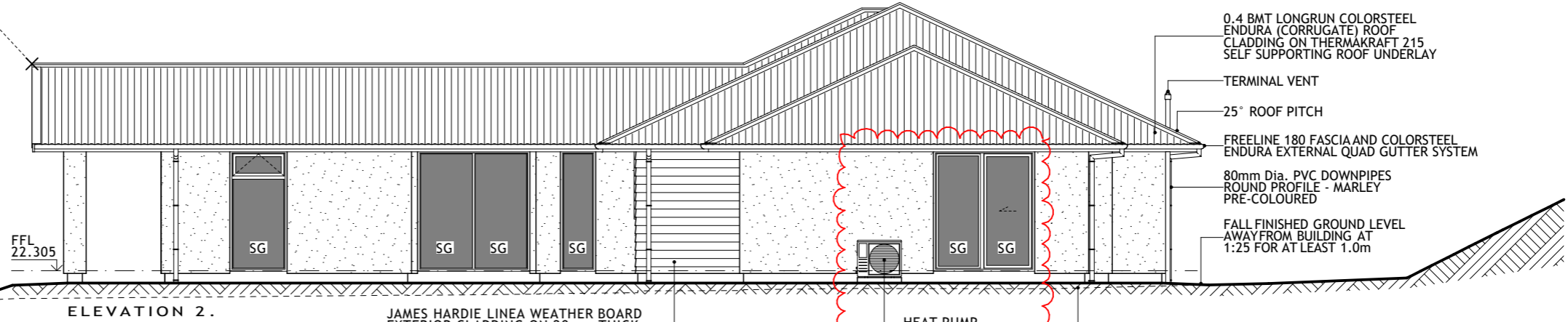
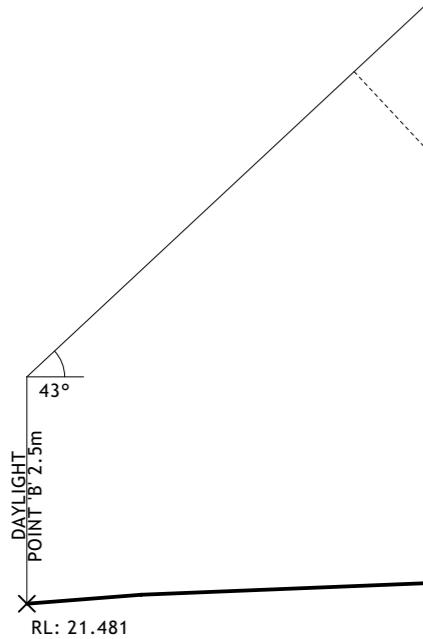
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ELEVATION 1.

RESENE CONSTRUCTIONS SYSTEMS INSULATED FACADE SYSTEM INCORPORATING 50mm EPS CLADDING ON 20mm PROPRIETARY BATTENS WITH DANBAND OVER THERMAKRAFT WATERGATE PLUS WALL UNDERLAY

'SG' SAFETY GLAZING IN ACCORDANCE WITH NZS 4223 PART 3:2016



ELEVATION 2.

JAMES HARDIE LINEA WEATHER BOARD EXTERIOR CLADDING ON 20mm THICK VERTICAL H3.1 TIMBER BATTENS WITH DANBAND OVER THERMAKRAFT WATERGATE PLUS WALL UNDERLAY

HEAT PUMP EXTERNAL UNIT ON CONCRETE PAD

EXISTING GROUND LEVEL SHOWN DASHED

0.4 BMT LONGRUN COLORSTEEL ENDURA (CORRUGATE) ROOF CLADDING ON THERMAKRAFT 215 SELF SUPPORTING ROOF UNDERLAY

TERMINAL VENT

25° ROOF PITCH

FREELINE 180 FASCIA AND COLORSTEEL ENDURA EXTERNAL QUAD GUTTER SYSTEM

80mm Dia. PVC DOWNPIPES ROUND PROFILE - MARLEY PRE-COLOURED

FALL FINISHED GROUND LEVEL AWAY FROM BUILDING AT 1:25 FOR AT LEAST 1.0m

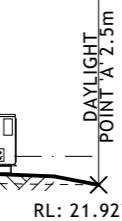


ELEVATION 3.

RANGEHOOD VENT  
10° SCISSOR TRUSSES THROUGH ALFRESCO

270x270mm FRAMED COLUMN WITH RCS 50mm EPS CLADDING SURROUND

BLP BRACING SHOWN HATCHED



BUILDING ENVELOPE RISK MATRIX		
MATRIX APPLIES TO ALL ELEVATIONS		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
<b>Total Risk Score:</b>		<b>7</b>



ELEVATION 4.

5.105  
OVERALL BUILDING HEIGHT  
(7.5 MAX)

CERTIFIED FILL SIGNED OFF BY ENGINEER

Client: MILESTONE HOMES  
LOT 17 DP 579552  
65 LES WAKEFIELD ROAD, MAPUA,  
NELSON

Drawing: ELEVATIONS  
SCALE 1:100 @ A3

Revision: WD-D WORKING DRAWINGS

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