

General Property Information

18 Springlea Heights, Nelson

Created: 30 November 2024

**PLEASE NOTE –
THIS IS NOT A LAND INFORMATION MEMORANDUM (LIM)**

If you require further information on this property you can request the following:

1. A copy of the property file. There is a charge for this if you are not the owner of the property. The file will be either electronic or hard copy depending on the address.
2. Land Information Memorandum (LIM). There is a charge for this. The report contains information that is held by the council regarding the land.

Any property file whether electronic or paper will not contain:

- confidential records
- building consents that have no Code Compliance Certificate
- resource consents that are still being monitored
- subdivision resource consents
- Land Information Memorandums (LIMs)
- Slip information



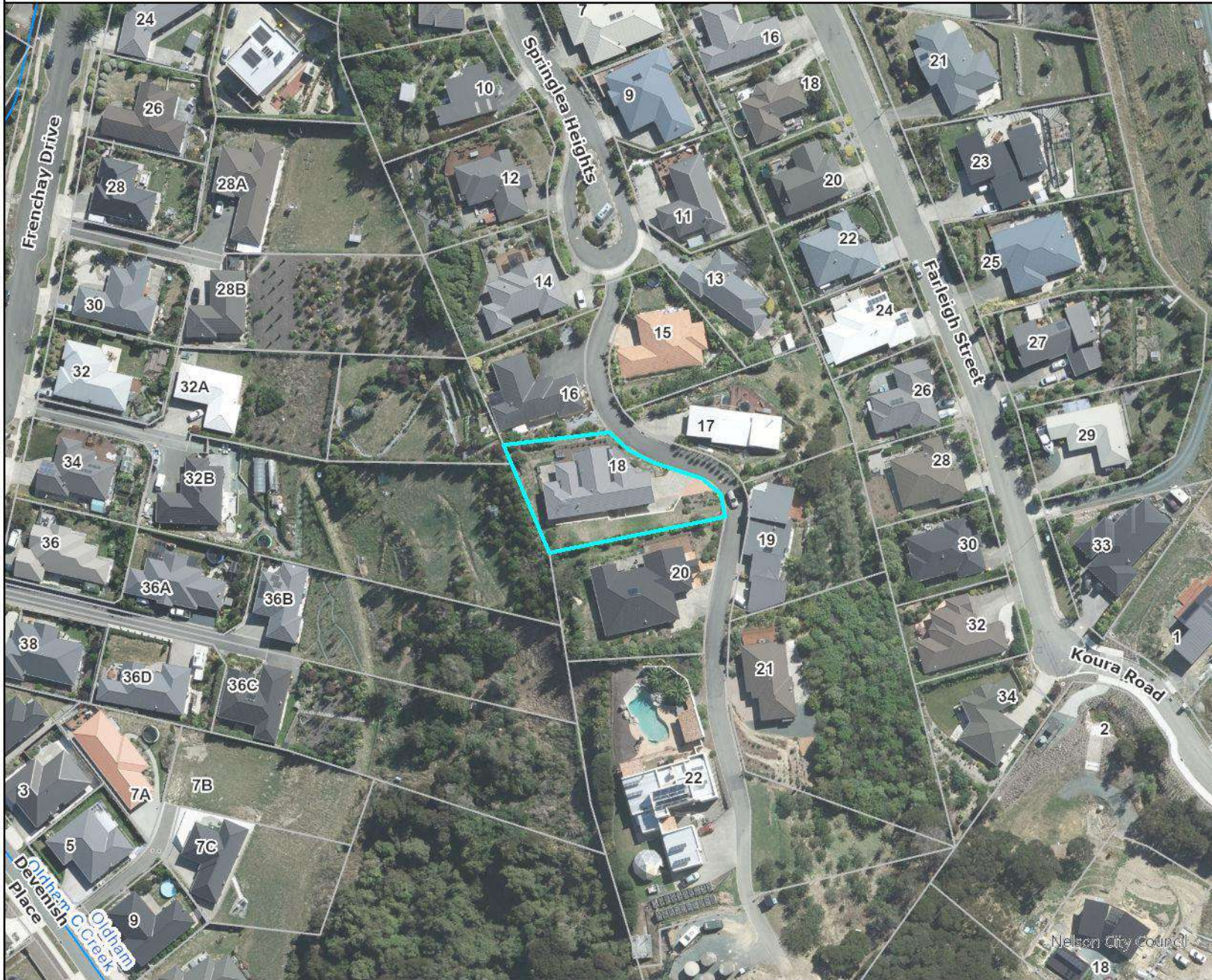
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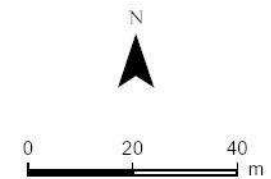


NRMP Hazard Overlay

18 Springlea Heights, Nelson



Legend



Created 30 November 2024

Hazard Study Information

It is part of Council's role to research and collect new information on a variety of local hazards so we can help to appropriately manage the risk to people and property. Council is required by law not only to investigate hazards, but to make the research available to anyone who is affected or interested.

The information below only relates to the areas covered by Council's recent research. It is important to note that there is potential for flooding, liquefaction, landslides and other natural hazards to happen in other areas around Nelson too.

Refer to the links for maps and information on the hazards below.

Fault Hazard

<http://www.nelson.govt.nz/environment/nelson-plan/natural-hazards/faults-line/>

Nelson Flood Models

<http://www.nelson.govt.nz/environment/nelson-plan/natural-hazards/flooding/>

Interactive map <http://nelson.govt.nz/river-flooding-map>

Liquefaction

<http://www.nelson.govt.nz/environment/nelson-plan/natural-hazards/liquefaction/>

Historic land use and potential soil contamination

<http://www.nelson.govt.nz/building-and-property/hail-sites>

Coastal Inundation

<https://shape.nelson.govt.nz/coastal-hazards>

Slope Instability Overlay

<http://www.nelson.govt.nz/environment/nelson-plan/natural-hazards/slope-instability/>

More information

Copies of all the latest reports and information that Council holds on hazards are available to download on our website at <http://nelson.govt.nz/environment/nelson-plan/natural-hazards/>

How can I find out if my soil is contaminated or not?

Inclusion on the HAIL site database does not mean that the soil must be tested. However, if you have reason to believe your soil is definitely contaminated or you want to know for your own information, you could get it tested.

Where the NESCS requires that a preliminary or detailed site investigation is done as part of a proposed change to land use or earthworks at a potentially contaminated site, that must be done by a "Suitably Qualified and Experienced Person" (SQEP).

This means that soil sampling done by anyone other than a SQEP can't be accepted as evidence of the contamination status of the site.

A SQEP has to be well qualified and have lots of experience assessing potentially contaminated land. Nelson City Council and Tasman District Council hold a joint list of SQEP's who can provide a contamination assessment. See a copy of the current list on the website.

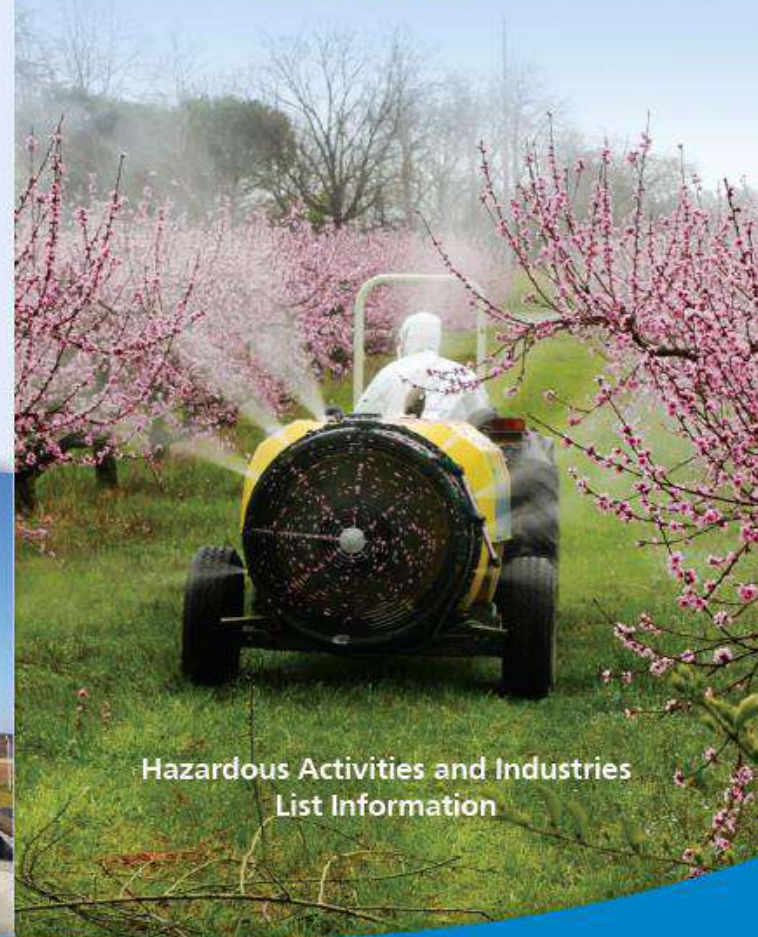
A1207066

More information

For more details about the HAIL, the Council database, soil testing, possible contaminants and the NESCS, please visit the Council website, nelson.govt.nz and search on HAIL.



H.A.I.L SITES



Hazardous Activities and Industries
List Information



 Nelson City Council
te kaunihera o whakatū

Civic House, 110 Trafalgar Street, Nelson
03 546 0200 • nelson.govt.nz

 Nelson City Council
te kaunihera o whakatū



What are HAIL sites?

HAIL sites are pieces of land where hazardous substances might have been used, stored or disposed of. These are identified by the Hazardous Activities and Industries List (HAIL), which is a group of activities and industries that are considered likely to cause land contamination. The list has been compiled by the Ministry for the Environment. The HAIL aims to identify most situations where hazardous substances could cause, and in many cases have caused, land contamination.

The fact that an activity or industry appears on the list does not mean that hazardous substances were used or stored on all sites occupied by that activity or industry. Nor does it mean that a site used by that industry will always have hazardous substances present in the land. The list just highlights that there is a greater probability of site contamination occurring than for other uses or activities.

You can download a copy of the HAIL on the Council website, nelson.govt.nz and search on HAIL.

Why is Council identifying HAIL sites?

By identifying sites where hazardous substances might have been used, stored or disposed of, we can ensure that the sites do not present a risk to human health when they are used or developed.

It helps Council and the community to comply with the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS).

It informs land owners that there is potential for the land to be contaminated and that further investigation would be needed before constructing new buildings or changing the land use. A resource consent may be needed in some cases.

Is a HAIL site the same as a contaminated site?

No. It's important to note that this is a land use assessment and no soil testing has been carried out by Council. Inclusion on the database does not mean that soil contamination is present.

Nelson City Council has made a database of all the areas of Nelson where our information shows that HAIL activities are taking or have taken place. Research has been done using historical photos, trade directories and property information to establish which areas of land in Nelson could be at risk of contamination because they are likely to have been used for HAIL activities in the past. For example, if the land was once an orchard and chemical sprays were used, or perhaps it was a farm that had a sheep dip or a fuel tank, there is a risk of soil contamination.

My property is listed as a HAIL site – what does that mean for me?

Inclusion on the HAIL site database does not necessarily mean that your soil is contaminated. Using a raised garden bed for growing vegetables can be helpful if you are concerned about soil contamination.

Also, if you want to build on your property, you will need to meet the requirements under the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS). This could mean you may need a resource consent to carry out certain work.

If you are especially concerned or have reason to believe that your soil is definitely contaminated you can get it tested at your own expense. For more information about soil testing see our website, nelson.govt.nz and search on HAIL.

Can a property be removed from the database?

The only way to remove a property from the database is to show that HAIL activity has never taken place on that site.

However, if you have any soil testing or other relevant information, please let Council know as this can be included in the property file and used to update the status of the property on the database.

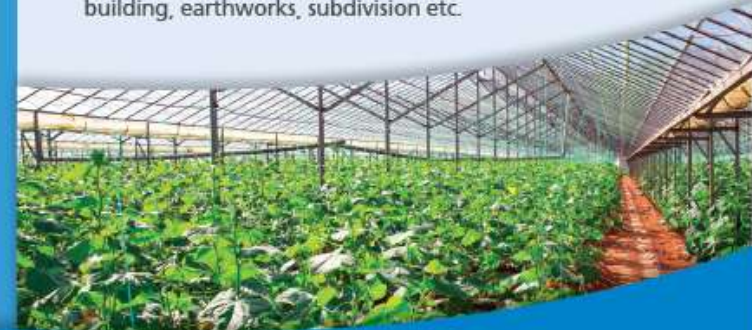
I am considering selling, buying a property or building on a HAIL site. What does that mean?

Information about whether a property is on the HAIL site database will be included on a Land Information Memorandum (LIM) for the property you are considering. A LIM is advisable when purchasing a property to ensure you are aware of the most accurate information we have relating to that property.

Information relating to HAIL status is also included on the Project Information Memorandum (PIM) for the property which you should request before doing any building project.

Be aware that if a property is included on the HAIL site database, and you wish to carry out any Building works, you will have to comply with the NESCS regulations (Sections 7 to 11). A resource consent may be required if the project cannot comply with the "permitted standards" in these regulations. The NESCS regulations are also triggered when a subdivision consent is applied for.

The requirements will vary from case to case, so it's important to talk to the Council early in the process for any activity that you're planning to carry out, including building, earthworks, subdivision etc.



Information about property files

Nelson City Council has made this information available under Sections 10 to 18 (inclusive) of the Local Government Official Information and Meetings Act 1987 only. Nelson City Council does not warrant its accuracy and disclaims all liability whatsoever for any error, inaccuracy or incompleteness of the information without seeking appropriate independent and professional advice. The information provided does not constitute a Land Information Memorandum or any similar document. All Property Records are the property of Nelson City Council.

Property information held on a property file is for completed applications only. Applications being processed are added to the property file once the process is completed or code compliance certificate issued.

Any property file whether electronic or paper may exclude:

- confidential records
- building consents that have no Code Compliance Certificate
- resource consents that are still being monitored
- subdivision resource consents
- Land Information Memorandums (LIMs)
- Slip information

Information regarding slip reports on a property can be obtained by purchasing a LIM.

Older plans may include microfiche records and be of poorer quality.

General Property Information: 1983022629

Property

Valuation No	1983022629
Location	18 Springlea Heights, Nelson
Legal Description	Lot 22 DP 356736
Area (Hectares)	0.1076

Rates

Government Valuation

Land	665,000
Improvements	890,000
Capital Value	1,555,000

Current Rates Year 2024 to 2025

Planning/Resource Management

12/10/12	RESOURCE CONSENT 035353X2 : Extension of time for RM035353X1 - to 1 October 2018 : Decision Notified 21/09/12 (Found on related property: X1983022676)
16/10/09	RESOURCE CONSENT 035353X1 : Extension of lapsing date for RM035353 : Decision Notified 25/09/09 (Found on related property: X1983022611)
2/12/05	RESOURCE CONSENT 055523 : Erect Retaining Wall with earthworks in excess of 1.2m in height & garage door entry being less than 2.2m in height : Decision Notified 11/11/05
14/09/05	RESOURCE CONSENT 035353 : 1. Variation to RM985363 (creating DP 356736) 2. 63 Residential Lots (Type 1 approval only) 3. Earthworks & Stream diversion : Letter Sent 17/06/09 (Found on related property: 1983022657)
26/08/04	RESOURCE CONSENT 045247 : 4 residential lots - creating DP351796 : Section 224 Issued 13/07/05 (Found on related property: 1983029005)
4/08/99	RESOURCE CONSENT 985363 : 4 stage subdivision of 60 lots - creating DP 326459 : Section 224 Issued 19/08/05 (Found on related property: 1983022600A)
20/05/98	RESOURCE CONSENT 985103 : subdivide 1 lot & amalgamation; creating DP 19246 : Section 224 Issued 4/05/98 (Found on related property: 1983022600A)
23/02/95	RESOURCE CONSENT 950009 : 51 LOTS & ROADS TO VEST : Consent Effective 24/02/95 (Found on related property: 1983022600A)

16/08/93 RESOURCE CONSENT 932167 : 53 LOT SUBDIVISION : Consent Effective
17/08/93
(Found on related property: X1980022600A)

20/03/87 TOWN PLANNING PERMIT TH1414 DISPENSATION: PARKING/ ACCESS :
APPROVED WITH CONDITIONS
(Found on related property: 1983021601)

RESOURCE CONSENT 035353V1 : Change to condition for the diversion and
piping of the right and upper left bank of Oldham Creek : Cancelled 14/10/13
(Found on related property: X1983022676)

Building

20/10/05 BUILDING CONSENT 050850 : Erect Dwelling with Internal Access Garage : Code
Compliance Certificate issued 21/06/07

20/03/03 BUILDING CONSENT 030168 : Retaining walls : Code Compliance Certificate
issued 9/11/06
(Found on related property: 1983022600A)

Licences

12/09/01 ENVIRONMENTAL HEALTH NOTES REMOVAL OF SHEEP CARCASSES - 130
DODSON VALLEY
(Found on related property: X1980022600A)

Sewer and Drainage

No information located

Land and Building Classifications

No information located

Transport

No information located

Special Land Features

No information located

Swimming Pools

No information located

Other

19/05/08 LIM APPLICATION L080140L080140 : LAND INFORMATION MEMORANDUM

22/06/07 LIM APPLICATION L070237L070237 : LAND INFORMATION MEMORANDUM

17/03/05 LIM APPLICATION L050108L050108 : LAND INFORMATION MEMORANDUM
(Found on related property: 1983022600)

20/02/04 LIM APPLICATION L040035L040035 : LAND INFORMATION MEMORANDUM
(Found on related property: 1983022600)

INTERNAL NOTES THIS PROPERTY FILE HAS BEEN SCANNED - Building-related
documents reviewed - RB - 14JAN2020

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DATE: 6-Oct-08 CONDITION No: C1418

STREET ADDRESS: Various

DIAGRAM: No

LEGAL DESCRIPTION: Various

PROPERTY OWNER
or SUBDIVIDER: Various

SCHEME PLAN No: NA

NCC PLAN No: NA

AUTHORITY: Infrastructural Assets

REASON FOR CONDITION:
(Abbreviated)

CONDITION:

At Building Consent stage any dwelling, with a floor level higher than RL 88m Nelson City Council Datum, shall be provided with an individual pressure pump and tank to ensure an adequate water pressure (not less than 300kPa) and quantity.

The cost of this is the landowners.

Date Entered: 6-Oct-08

DATE:

CONDITION No: 200

STREET ADDRESS: Oldham Creek (Dodsons Valley)

LEGAL DESCRIPTION:

PROPERTY OWNER
or SUBDIVIDER:

SCHEME PLAN No:

NCC PLAN No:

AUTHORITY:

REASON FOR CONDITION:
(Abbreviated)

CONDITION:
Before any scheme plan of subdivision of this area is approved, the Nelson Catchment Board are to be consulted about their requirements.

Date Entered:

DATE: 21-Jun-05 CONDITION No: C1264

STREET ADDRESS: Springlea Heights

DIAGRAM: Yes

LEGAL DESCRIPTION Lots 5 to 49 DP 356736

PROPERTY OWNER
or SUBDIVIDER: Springlea Estates

SCHEME PLAN No:

NCC PLAN No: RM 035353 - Stage 2

AUTHORITY: M Johnston

REASON FOR CONDITION:
(Abbreviated) Subdivision (Updated 19/4/06)

CONDITION:

- General Conditions applying to Lots 5 to 49

- 1) Foundations for all buildings shall extend through topsoil, subsoil and where present non-engineered fill to bear in competent natural ground or engineered fill certified as being placed in accordance with NZS 4431: 1989 – *Code of Practice for Earth Fill for Residential Development*.
- 2) All stormwater from roofs, paved, hard stand and impermeable areas, drainage from retaining walls, surface drains and any new subsoil drains, any seepages encountered during development of the lots, and overflows from standing bodies of water, such as swimming pools and ponds, shall be collected and discharged in a controlled manner to the Nelson City Council Stormwater System.
- 3) All cut and fill benches shall be shaped to prevent water ponding and to provide positive drainage so that water does not flow over the building platform. A cut off drain or similar flow path shall be maintained up slope of buildings to divert water from them and their foundations.
- 4) Runoff from landscaping, including garden paths, shall be discharged in a manner that does not induce slope instability or erosion and shall not detrimentally alter drainage of the lot and its environs.
- 5) All excavations, including for foundations and service trenches for drains and cables shall excavated and backfilled in a manner that does not induce saturation of the immediate ground. In filled ground in the *Site Specific Investigation Zone 1* the excavations shall be

supervised by a chartered professional engineer practising in civil engineering.

- 6) Cuts over 1.2 m in height within a horizontal distance of a lot boundary that is equal to or less than the height of the cut shall be prior reviewed by a chartered professional engineer practising in civil engineering or for cuts over 3.0 m in height a chartered professional engineer practising in geotechnical engineering or by an experienced engineering geologist and recognised as such by the Nelson City Council.
- 7) All structural fills, including for driveways and parking areas, and fills over 1.0 m in thickness shall be certified as placed in accordance with NZS 4431: 1991 – *Code of Practice for Earth Fill for Residential Development*. All other fills shall be placed in a competent manner with track rolling in thin incremental layers and shall include adequate stripping, benching and drainage of the underlying materials.
- 8) The lots shall be maintained in a vegetation cover that enhances slope stability, particularly on slopes steeper than 2.5H: 1V.

B - Additional Conditions Specific to Lots 7 to 10 inclusive, 15, 26 to 39 inclusive and 46 and 47 and parts of Lots 5, 6, 11 - 14 and 16 to 25 inclusive comprising *NZS 3604: 1999 Compliance Zone* defined on Golder Associates *Site Plan showing Proposed Development Criteria* Figure 4, ref. R03645119-50/2, dated June 2005.

- 9) Within the *NZS 3604: 1999 Compliance Zone* development in terms *NZS 3604: 1999 – Timber Framed Buildings* is suitable. Foundations shall penetrate topsoil, subsoil and, if present, weak ground, to bear in competent natural ground or engineered fill.
- 10) Foundations not complying with *NZS 3604* shall be designed and constructed under the supervision of a chartered professional engineer practising in civil engineering.
- 11) Foundations on Lots 5, 6, 10 to 14 inclusive, 27, 28, 31, 32, 36 and 38 straddling or within 1.0 m of cut/fill/natural boundaries as approximately located on Golder Associates Figure 4 and DO Gourdie & Ward plan *As Built Depth of Cut and Fill Plan* (ref.6920), dated April 2005, shall be reviewed by a chartered professional engineer practising in civil engineering.
- 12) Lots 5-8 inclusive, 14, 19, 29-38 inclusive and 47 contain subsoil drains and are subject to sub-conditions 23 and 24 below.
- 13) Cuts over 1.2 m in height shall be investigated, designed and excavated under the supervision of a chartered professional engineer practising in civil engineering or if greater than 3.0 m in height an experienced engineering geologist or a chartered professional engineer practising in geotechnical engineering, and recognised as such by the Nelson City Council.
- 14) Earthworks involving cuts up to 3.0 m in height and fills exceeding 1.0 m in thickness shall be fully retained unless the cut or fill faces

have a slope less than 26° (1V: 2H) in materials other than rock and less than 45° in rock and weathered rock.

- 15) Retaining walls over 1.2 m in height shall be designed and constructed under the supervision of a chartered professional engineer practising in civil engineering or for walls over 3.0 m a chartered professional engineer practising in geotechnical engineering and recognised as such by the Nelson City Council.

C - Additional Conditions Specific to all of Lots 40 to 45 inclusive, 48 and 49 and parts of Lots 5, 6 and 14, 16 to 24 and 40 to 45 inclusive and comprising the *Site Specific Investigation Zone 1* defined on Golder Associates *Site Plan showing Proposed Development Criteria* Figure 4, ref. R03645119-50/2, dated June 2005. The zone encompasses variable ground and/or steep slopes necessitating geotechnical input into development of the lot.

- 16) All foundations shall be designed and constructed under the supervision of a chartered professional engineer practising in civil engineering and shall be reviewed by an experienced engineering geologist or a chartered professional engineer practising in geotechnical engineering and recognised as such by the Nelson City Council.
- 17) Lots 6, 40-45 inclusive, 48 and 49 contain subsoil drains and are subject to sub-conditions 23 and 24 below.
- 18) Earthworks involving cuts exceeding 1.0 m in height and fill 0.5 m in thickness or any cuts or fills within 3.0 m of, or on slopes greater than 26° (1V: 2H) shall be investigated and designed by an experienced engineering geologist or by a chartered professional engineer practising in geotechnical engineering and recognised as such by Nelson City Council.
- 19) Retaining walls over 1.0 m in height shall be designed and constructed under the supervision of a chartered professional engineer practising in civil engineering. Retaining walls over 3.0 m in height shall be designed or reviewed by a chartered professional engineer practising in geotechnical engineering and recognised as such by the Nelson City Council.

D - Additional conditions applying to parts of Lots 11, 12, 24 and 25 and comprising *Site Specific Investigation Zone 2* defined on Golder Associates *Site Plan showing Proposed Development Criteria* Figure 4, ref. R03645119-50/2, dated June 2005.

- 20) Because of variable ground conditions, including potentially weak and fractured rock with clay layers, foundations shall be investigated, designed and constructed under the supervision of a chartered professional engineer practising in civil engineering.
- 21) Earthworks involving cuts exceeding 1.0 m in height and fill 1.0 m in thickness shall be investigated and designed by an experienced engineering geologist or by a chartered professional engineer practising in geotechnical engineering and recognised as such by the Nelson City Council.

- 22) Retaining walls exceeding 1.0 m in height shall be designed and constructed under the supervision of a chartered professional engineer practising in civil engineering. Retaining walls over 3.0 m in height shall be designed or reviewed by a chartered professional engineer practising in geotechnical engineering and recognised as such by the Nelson City Council.

D Additional conditions applying to *Subsoil/Stormwater Zone* comprising parts of Lots 5 to 8 inclusive, 14, 19, 29-38 inclusive, 40-45 inclusive and 47-49 inclusive and shown on DO Gourdie & Ward Plan *As-built Drains* (ref. 6920) revised April 2005 and also shown on Golder Associates *Site Plan showing Proposed Development Criteria* Figures 4 and 5/2 dated June 2005.

- 23) Earthworks and foundations within 1.0 m of existing subsoil and stormwater drains (within the *Subsoil/Stormwater Zone* as shown on Figures 4 and 5) shall be under the supervision of a chartered professional engineer practising in civil engineering to ensure that there is no adverse influence on the performance of any drain. The position and depth of the subsoil drains are shown on DO Plan *As – Built Subsoil Drains* (ref.6920), dated March 2005 revised April 2005. On completion of the foundations the chartered professional engineer shall confirm to the Nelson City Council that the integrity of the subsoil drains has not been compromised.
- 24) Development of the lots generally shall not compromise the integrity of subsoil drains.

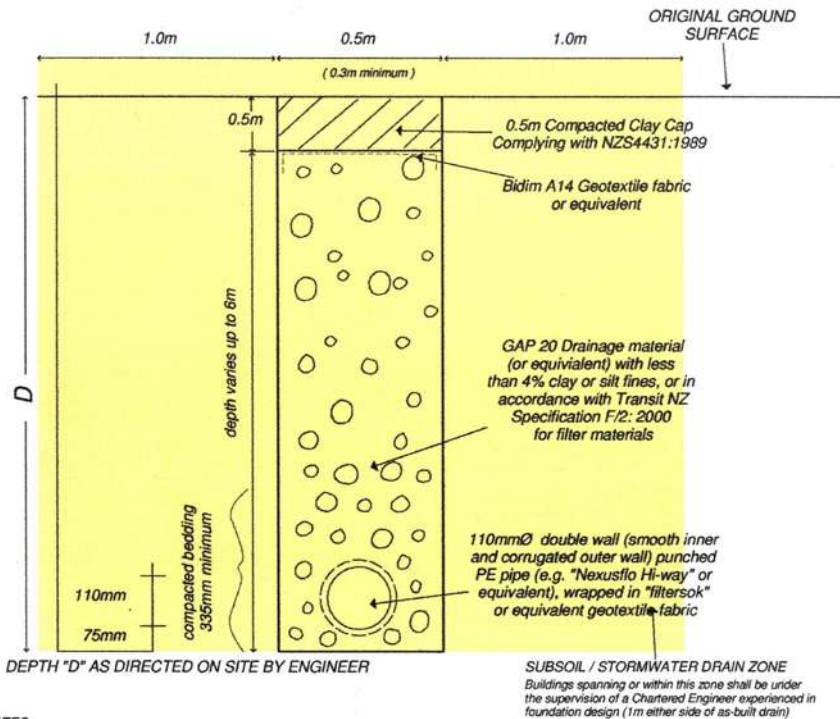
Golder Associates *Certificate of Professional Opinion as to Suitability of Land for Building Development* (ref.L03645119-51), dated 17 June 2005, [HTTP://Tardis/A1341734](http://Tardis/A1341734);

and *Geotechnical Completion Report Springlea Subdivision – Stage 2 (Lots 5 to 49)* (ref.L03645119-50), dated 6 May 2005, [HTTP://Tardis/A427967](http://Tardis/A427967)

relate to the general suitability of the building sites and do not remove the need for specific site investigation, design and inspection as required by the Building Code, NZS 3604: 1999 and NZS 4431: 1989.

TYPICAL SUBSOIL (COUNTERFORT) DRAIN DETAIL

For drains up to 6m in depth



NOTES:

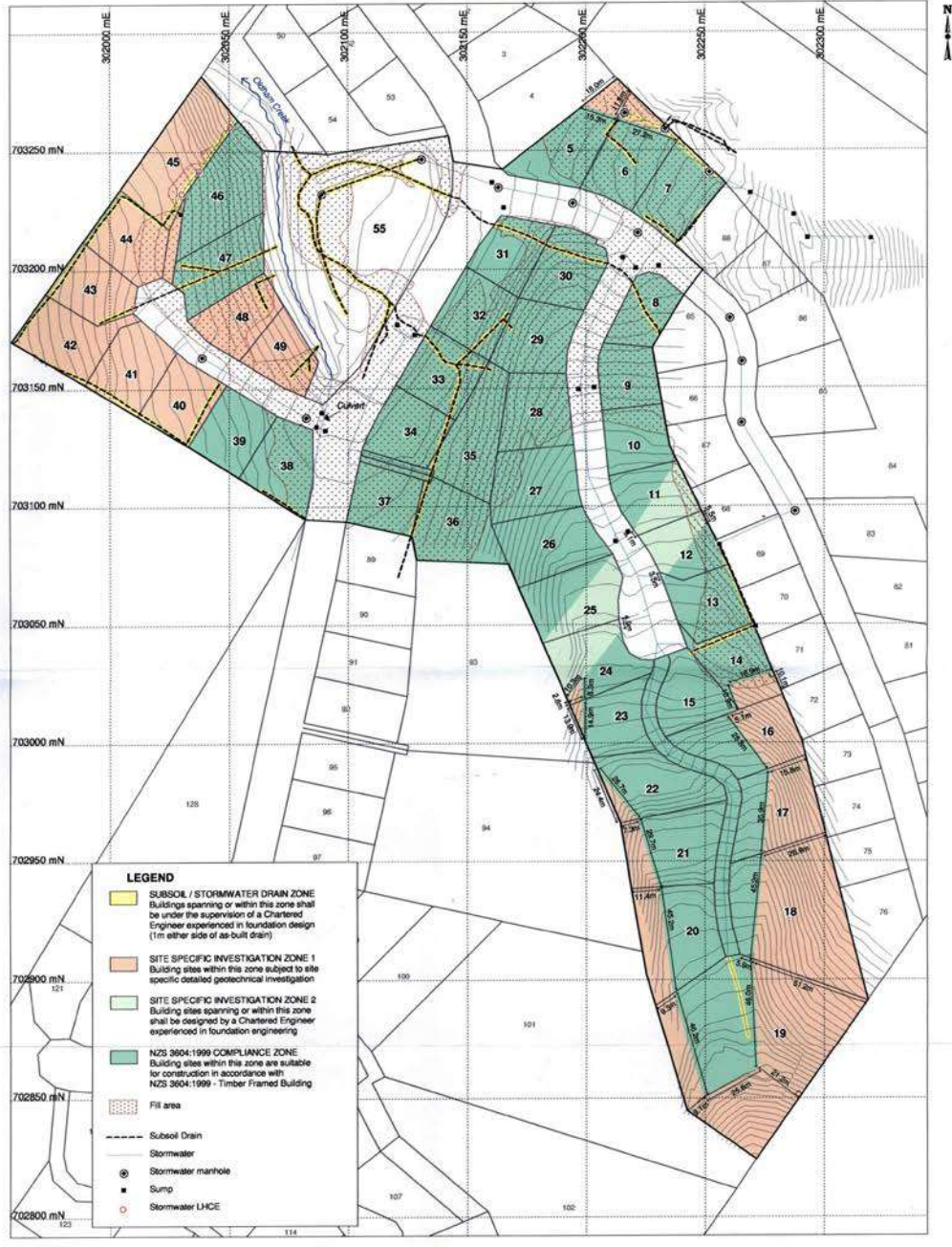
1. Trench to be constructed working in an uphill direction from the outfall.
2. Trench to be graded to outlet so no ponding can occur. Minimum gradient 1 in 80 (or 1°).
3. Subsurface drain piped to stormwater system or a suitable discharge point as otherwise directed by the engineer.
4. Where drains are >6m deep, a higher density (more rigid) PE pipe is required, eg. 110mm "Nexusflo Hi-way" pipe, or equivalent.
5. Where high flows are anticipated, a larger diameter punched double walled PE pipe is required, eg. "Nexusflo Hi-way" 150mmØ pipe.
6. Bedding around the pipe shall consist of a 75mm cushion of filter material + 150mm of filter material around and above the pipe compacted in layers not exceeding 75mm thickness (Subject to assessment of trench stability by Engineer).
7. Trench backfill shall be filter material placed in layers not exceeding 150mm loose thickness positively compacted.
8. Joining of pipes shall be in accordance with manufacturers specifications.
9. Compacted clay cap to be compacted to 95% standard compaction.
10. LCHE to be constructed at locations as directed by Engineer.

Reference: N.R. Fitch 1990, "Ground stabilisation with Counterfort Drains - Design, Installation and Monitoring of drawdown performance"
Proceedings New Zealand Geomechanics Society, Vol. 16, Issue 1(G)

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CLIENT Springlea Estates Ltd		PROJECT Springlea Subdivision - Stage 2 Dodson Valley Road, Nelson Geotechnical Completion Report	
DRAWN MCD	DATE June 2005	TITLE TYPICAL SUBSOIL DRAIN DETAIL	
CHECKED <i>[Signature]</i>	DATE 03/06/05	PROJECT NO. 03645119	REPORT NO. R03645119-50
SCALE NTS	A4	VERSION NO. 2	FIGURE NO. 5
FILE SubsoilDrain.wor			



	CLIENT		Springlea Estates Ltd		PROJECT							
	DRAWN	MCD	DATE	June 2005	Springlea Subdivision - Stage 2 Dodson Valley Road, Nelson Geotechnical Completion Report							
	CHECKED	<i>[Signature]</i>	DATE	06/06/05	TITLE							
	SCALE	1:1500	FILE	Stage2DevCrit.wor	A3	PROJECT No.	03645119	REPORT No.	R03645119-50	VERSION No.	2	FIGURE No.

Date Entered: 21-Jun-05

DATE: 12-Jan-06 CONDITION No: C1403

STREET ADDRESS: All properties contained in the Nelson Urban Area within Airshed C (consult Fig A2.2C in Air Plan), and in Nelson Urban Area (consult Figure A2.1) outside Airsheds shown in Figures A2.2A, A2.2B and A2.2C.

DIAGRAM: No

LEGAL DESCRIPTION Various

PROPERTY OWNER
or SUBDIVIDER: Various

SCHEME PLAN No: NA

NCC PLAN No: Air Quality Plan

AUTHORITY: Manager, Environmental Policy (see David Jackson)

REASON FOR CONDITION:

(Abbreviated) This property may contain an domestic open fire that falls under the rules set out in the Council's Air Quality Plan. Under rule AQR.24.1, within the Urban Area, the use of open fires is allowed to continue up until 1 January 2008 (except that any 'Jetmaster' type open fire (including Warmington brands) may continue until 1 January 2013). Discharge to air from open fires is prohibited after that date. This is necessary to meet the targets imposed by the National Environmental Standards for air quality. Updated 4/12/08

CONDITION:

The Air Quality Plan states that within the Nelson Urban Area no discharge from domestic-type open fires may occur after the cessation date below

Type of heating appliance	Disused by
Open fires	1/01/2008
('Jetmaster' type open fires)	(1/1/2013)

Council approved wood burners may only be installed in place of an existing 'lawfully installed' burner (rule AQR.25).

If you live in Airshed C and are either building a new home or do not have an existing enclosed wood burner, you can apply for a building consent to install an ultra-low emission wood burner (ULEB) (rule AQR.26A)

NOTE: In buildings that currently do not have a solid fuel burner, a limit of 599 ULEBs applies in Airshed C. (Continues next page)

For further information on other approved burner options refer to the NCC website:
<http://www.nelson.govt.nz/environment/air-quality/approved-burners/>

Amended 1 October 2018

Date Entered: 12-Jan-06