

General Property Information

42 Valley Heights Road, Nelson

Created: 10 June 2025

**PLEASE NOTE –
THIS IS NOT A LAND INFORMATION MEMORANDUM (LIM)**

If you require further information on this property you can request the following:

1. A copy of the property file. There is a charge for this if you are not the owner of the property. The file will be either electronic or hard copy depending on the address.
2. Land Information Memorandum (LIM). There is a charge for this. The report contains information that is held by the council regarding the land.

Any property file whether electronic or paper will not contain:

- confidential records
- building consents that have no Code Compliance Certificate
- resource consents that are still being monitored
- subdivision resource consents
- Land Information Memorandums (LIMs)
- Slip information



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Hazard Study Information

It is part of Council's role to research and collect new information on a variety of local hazards so we can help to appropriately manage the risk to people and property. Council is required by law not only to investigate hazards, but to make the research available to anyone who is affected or interested.

The information below only relates to the areas covered by Council's recent research. It is important to note that there is potential for flooding, liquefaction, landslides and other natural hazards to happen in other areas around Nelson too.

Refer to the links for maps and information on the hazards below.

Fault Hazard

<https://www.nelson.govt.nz/6environment/natural-hazards/fault-lines>

River Flooding

<https://www.nelson.govt.nz/6environment/natural-hazards/river-flooding>

Liquefaction

<https://www.nelson.govt.nz/6environment/natural-hazards/liquefaction>

HAIL Sites

<https://www.nelson.govt.nz/6environment/nelson-hail-sites>

Coastal Inundation

<https://www.nelson.govt.nz/6environment/natural-hazards/coastal-inundation>

Slope Instability

<https://www.nelson.govt.nz/6environment/natural-hazards/slope-instability>

More information

Copies of all the latest reports and information that Council holds on hazards are available to download on our website at

<https://www.nelson.govt.nz/6environment/natural-hazards>

How can I find out if my soil is contaminated or not?

Inclusion on the HAIL site database does not mean that the soil must be tested. However, if you have reason to believe your soil is definitely contaminated or you want to know for your own information, you could get it tested.

Where the NESCS requires that a preliminary or detailed site investigation is done as part of a proposed change to land use or earthworks at a potentially contaminated site, that must be done by a "Suitably Qualified and Experienced Person" (SQEP).

This means that soil sampling done by anyone other than a SQEP can't be accepted as evidence of the contamination status of the site.

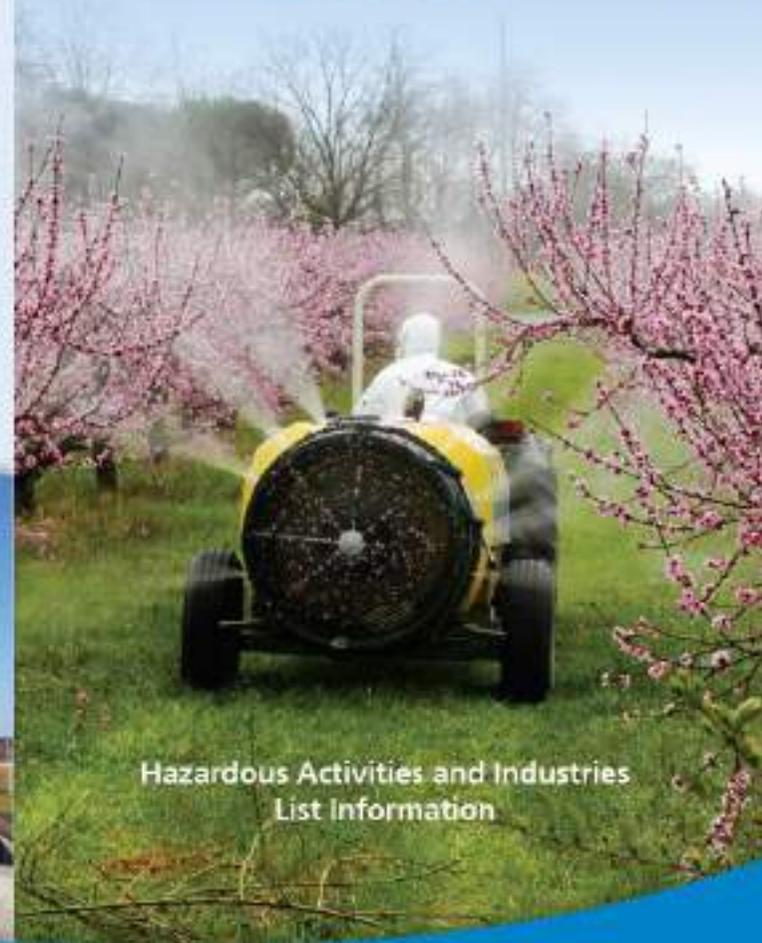
A SQEP has to be well qualified and have lots of experience assessing potentially contaminated land. Nelson City Council and Tasman District Council hold a joint list of SQEP's who can provide a contamination assessment. See a copy of the current list on the website.

More information

For more details about the HAIL, the Council database, soil testing, possible contaminants and the NESCS, please visit the Council website, nelson.govt.nz and search on HAIL.



H.A.I.L SITES



Hazardous Activities and Industries
List Information



 Nelson City Council
te kaunhera o whakatū

Civic House, 110 Trafalgar Street, Nelson
03 546 0200 • nelson.govt.nz

 Nelson City Council
te kaunhera o whakatū



What are HAIL sites?

HAIL sites are pieces of land where hazardous substances might have been used, stored or disposed of. These are identified by the Hazardous Activities and Industries List (HAIL), which is a group of activities and industries that are considered likely to cause land contamination. The list has been compiled by the Ministry for the Environment. The HAIL aims to identify most situations where hazardous substances could cause, and in many cases have caused, land contamination.

The fact that an activity or industry appears on the list does not mean that hazardous substances were used or stored on all sites occupied by that activity or industry. Nor does it mean that a site used by that industry will always have hazardous substances present in the land. The list just highlights that there is a greater probability of site contamination occurring than for other uses or activities.

You can download a copy of the HAIL on the Council website, nelson.govt.nz and search on HAIL.

Why is Council identifying HAIL sites?

By identifying sites where hazardous substances might have been used, stored or disposed of, we can ensure that the sites do not present a risk to human health when they are used or developed.

It helps Council and the community to comply with the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS).

It informs land owners that there is potential for the land to be contaminated and that further investigation would be needed before constructing new buildings or changing the land use. A resource consent may be needed in some cases.

Is a HAIL site the same as a contaminated site?

No. It's important to note that this is a land use assessment and no soil testing has been carried out by Council. Inclusion on the database does not mean that soil contamination is present.

Nelson City Council has made a database of all the areas of Nelson where our information shows that HAIL activities are taking or have taken place. Research has been done using historical photos, trade directories and property information to establish which areas of land in Nelson could be at risk of contamination because they are likely to have been used for HAIL activities in the past. For example, if the land was once an orchard and chemical sprays were used, or perhaps it was a farm that had a sheep dip or a fuel tank, there is a risk of soil contamination.

My property is listed as a HAIL site – what does that mean for me?

Inclusion on the HAIL site database does not necessarily mean that your soil is contaminated. Using a raised garden bed for growing vegetables can be helpful if you are concerned about soil contamination.

Also, if you want to build on your property, you will need to meet the requirements under the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS). This could mean you may need a resource consent to carry out certain work.

If you are especially concerned or have reason to believe that your soil is definitely contaminated you can get it tested at your own expense. For more information about soil testing see our website, nelson.govt.nz and search on HAIL.

Can a property be removed from the database?

The only way to remove a property from the database is to show that HAIL activity has never taken place on that site.

However, if you have any soil testing or other relevant information, please let Council know as this can be included in the property file and used to update the status of the property on the database.

I am considering selling, buying a property or building on a HAIL site. What does that mean?

Information about whether a property is on the HAIL site database will be included on a Land Information Memorandum (LIM) for the property you are considering. A LIM is advisable when purchasing a property to ensure you are aware of the most accurate information we have relating to that property.

Information relating to HAIL status is also included on the Project Information Memorandum (PIM) for the property which you should request before doing any building project.

Be aware that if a property is included on the HAIL site database, and you wish to carry out any Building works, you will have to comply with the NESCS regulations (sections 7 to 11). A resource consent may be required if the project cannot comply with the "permitted standards" in these regulations. The NESCS regulations are also triggered when a subdivision consent is applied for.

The requirements will vary from case to case, so it's important to talk to the Council early in the process for any activity that you're planning to carry out, including building, earthworks, subdivision etc.



Information about property files

Nelson City Council has made this information available under Sections 10 to 18 (inclusive) of the Local Government Official Information and Meetings Act 1987 only. Nelson City Council does not warrant its accuracy and disclaims all liability whatsoever for any error, inaccuracy or incompleteness of the information without seeking appropriate independent and professional advice. The information provided does not constitute a Land Information Memorandum or any similar document. All Property Records are the property of Nelson City Council.

Property information held on a property file is for completed applications only. Applications being processed are added to the property file once the process is completed or code compliance certificate issued.

Any property file whether electronic or paper may exclude:

- confidential records
- building consents that have no Code Compliance Certificate
- resource consents that are still being monitored
- subdivision resource consents
- Land Information Memorandums (LIMs)
- Slip information

Information regarding slip reports on a property can be obtained by purchasing a LIM.

Older plans may include microfiche records and be of poorer quality.

General Property Information: 1972047714

Property

Valuation No	1972047714
Location	42 Valley Heights Road, Nelson
Legal Description	LOT 42 DP 442911
Area (Hectares)	0.1856

Rates

Government Valuation

Land	375,000
Improvements	335,000
Capital Value	710,000

Current Rates Year 2024 to 2025

Planning/Resource Management

9/08/12	RESOURCE CONSENT 125144 : To construct a retaining wall and carry out associated earthworks in excess of 1.2m on the western property boundary : Expired 18/07/13 (Found on related property: X1972047701)
23/02/10	RESOURCE CONSENT 105022 : Boundary Alteration : Section 224 Issued 19/03/10 (Found on related property: 1972047100)
10/08/07	RESOURCE CONSENT 005028 : Variation to extend timeframe for earthworks and subdivision : Expired 31/05/07 (Found on related property: 1972053400)
5/03/96	RESOURCE CONSENT 960034 : Clear scrub (approx 4.5ha) : Decision Notified 13/02/96 (Found on related property: 1972071300)
21/07/95	RESOURCE CONSENT 950109 : 53 LOTS, ROADS TO VEST & ACCESSWAYS : Variation 20/05/10 (Found on related property: 1972071000)
2/12/92	TOWN PLANNING PERMIT 920272 DISCRETIONARY ACTIVITY: ESTABLISH FIRE BREAK : APPROVED WITH CONDITIONS (Found on related property: 1972014000)
11/01/85	TOWN PLANNING PERMIT DEV213 ERECT 3 OR MORE RESIDENTIAL UNITS : DECISION DEFERRED (Found on related property: X1972047701)

Building

7/02/12 BUILDING CONSENT 111039 : New Versatile house and garage : CODE COMPLIANCE CERT ISSUED 5/09/12

16/03/09 BUILDING CONSENT 090068 : Construction of mechanically stabilised earth wall as part of earthworks construction of Stage 2 Valley Heights subdivision : CODE COMPLIANCE CERT ISSUED 29/07/11
(Found on related property: 1972045700)

Licences

22/11/06 ENVIRONMENTAL HEALTH NOTES FLAMMABLE VEGETATION Legal Notice issued
(Found on related property: X1972047701)

20/12/01 ENVIRONMENTAL HEALTH NOTES FLAMMABLE VEGETATION LEGAL NOTICE ISSUED
(Found on related property: X1972047701)

Sewer and Drainage

No information located

Land and Building Classifications

No information located

Transport

No information located

Special Land Features

No information located

Swimming Pools

No information located

Other

5/12/23 SERVICE REQUEST 2349320 : Major Leak

15/11/06 SERVICE REQUEST 061370 : Fire Hazard
(Found on related property: 1972047701)

INTERNAL NOTES THIS PROPERTY FILE HAS BEEN SCANNED - APR2024

Conditions Report



View All Conditions ([https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C1401" OR Filename:"Property Condition C1538" OR Filename:"Property Condition C1555"](https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\))

LINZ ID	Address	Condition Number	Condition Description	Diagram	Links
7338908	42 Valley Heights Road, Nelson	C1401	Air Plan	N	Open in SharePoint (<a c1401\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C1401")
7338908	42 Valley Heights Road, Nelson	C1538	Consent Notice	N	Open in SharePoint (<a c1538\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C1538")
7338908	42 Valley Heights Road, Nelson	C1555	Consent Notice	Y	Open in SharePoint (<a c1555\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C1555")

Date	12 January 2006	Condition No.	C1401
Street address	All properties contained in the Nelson Urban Area within Airshed A or B1 (consult Fig A2.1, A2.2A and A2.2B in Air Plan)		
Diagram	No		
Legal Description	Various		
Property Owner or Subdivider	Various		
Scheme Plan No.	N/A		
NCC Plan	Air Quality Plan		
Authority	Principal Adviser - City Development (see David Jackson)		
Reason for condition	<p>(Abbreviated) This property may contain a domestic spaceheater or open fire that falls under the rules set out in the Council's Air Quality Plan. Under rule AQR.24.1, within the Urban Area the use of open fires was allowed to continue up until 1 January 2008 (except that any 'Jetmaster' type open fire (including Warmington brands) may continue until 1 January 2013). Discharge to air from open fires is prohibited after that date. In addition, within Airsheds A and B1 (as defined in the Air Plan) the use of existing enclosed burners has been phased out. The use of all enclosed burners that do not comply with the emissions standards set out by the Air Quality Plan has been progressively banned between 2010 and 2012, starting with the oldest burners. This was necessary to meet the targets imposed by the National Environmental Standards for air quality. Updated 7th June 2012.</p>		

Condition

The Air Quality Plan states that in the Nelson Urban Area within these airsheds (Airshed A and B1 – consult Fig A2.1, A2.2A and A2.2B in Air Plan) no discharge from domestic-type fires may occur after the cessation date below.

Type of Heating Appliance	Disused By
Open fires (Jetmaster type open fires)	1/01/2008 (1/01/2013)
Burners installed before 1996	1/01/2010
Burners installed between 1996 and 1999	1/01/2012

Date entered: 12th January 2006

Date	28 July 2011	Condition No.	C1538
Street address	Valley Heights Road		
Diagram	No		
Legal Description	DP 442911		
Property Owner or Subdivider	Farr Developments		
Scheme Plan No.			
Resource Consent No.	RM085135		
Authority	Shane Overend; Don Ballagh		
Reason for condition	As a result of subdivision		

Consent Notice – Vegetation and Maintenance of Cut-off Drain

The following condition is to be complied with on a continuing basis:

- (a) In respect of Lots 50, 51 and 53, DP 442911: vegetation shall not reach a height greater than 1.8m on Lots 50, 51 and 53
- (b) In respect of Lots 33 to 46 and 49 to 51: the Registered Proprietor of each Lot shall be responsible for maintaining and repairing the cut off drain within their lot (as shown on Nelson City Council drawing No. 36-1318-As Built) in good working order as it now is including if necessary replacing the drain if maintenance and repair are not feasible.

Date entered: 28th July 2011

Date	14 October 2011	Condition No.	1555
Street address	24 to 42 Valley Heights		
Diagram	Y		
Legal Description	LT 442911 – Lots 33 to 51 and Lot 53		
Property Owner or Subdivider	Farr Developments		
Scheme Plan No.	LT 442911		
Resource Consent No.	RM085135		
Authority	Mike Johnston		
Reason for condition	As a result of subdivision		

Condition

Lots 33 to 51 inclusive and 53 DP 442911 (Stage 2)

A - General Sub-conditions Applying to Lots 33 to 51 inclusive and Lot 53

The area comprising Stage 2 Valley Heights Subdivision is depicted on Golder Associates drawing 5 *Development Criteria – Stage 2*, dated September 2011, and *Final Landforms and Drainage Stage 2*, dated September 2011, and has been subject to extensive earthworks as summarised in *Land Dimensions Iso Contour Plan*, and *Finished Level Ground Contours*, both dated May 2011.

1. Foundations shall penetrate topsoil, subsoil and, if present, weak ground or non-certified fill to bear in competent natural ground or fill certified in accordance with NZS 4431: 1989 – *Code of Practice for Earth Fill for Residential Development*. Foundations straddling or in close proximity to Port Hills Gravel/fill boundaries as shown on drawings titled *Development Criteria – Stage 2*, dated September 2011, and *Iso Contour Plan*, dated May 2011, shall be verified by a chartered professional engineer practising in civil or geotechnical engineering and experienced in foundation design or by an experienced engineering geologist. Because of extensive earthworks it is possible small areas of fill not meeting the requirements of *NZS 4431: 1991* may exist on some lots.
2. Stormwater from roofs, paved, hardstanding and impermeable areas, drainage from retaining walls, surface drains and any new subsoil drains along with any seepages encountered during development of the lots, and overflows from standing bodies of water, such as swimming pools and ponds, shall be collected and discharged in a controlled manner to the Nelson City Council Stormwater System.
3. All cut and fill benches shall be shaped to prevent water ponding and to provide positive drainage so that water does not flow over the building platforms. A cut off drain or similar flow path shall be maintained up slope of buildings to divert water from them and their foundations.
4. Runoff from landscaping, including garden paths, shall be discharged in a manner that does not induce slope instability or erosion and shall not detrimentally alter drainage of the lots and their environs.

5. All excavations, including for foundations and service trenches for cables and drains, shall be designed and constructed, including back-filling, in a manner that does not induce saturation of the immediate ground, particularly fill.
6. Development of the lots, including all earthworks and landscaping shall not compromise the integrity of subsoil drains on Lots 34 to 36, 42 to 46 and 48 to 51 inclusive and approximately depicted on Golder Associates drawing 5 *Development Criteria – Stage 2*, dated September 2011, and Land Development drawing 1 *Lots 35 & 36 Extra Stormwater Asbuilt*, dated October 2011.
7. All cuts or batters that exceed 1.2 m in height but are less than 3.0 m in height shall be fully retained except in:
 - (A) Fresh to moderately weathered Port Hills Gravel formation conglomerate with a batter slope less than 45° (1 V: 1H).
 - (B) All other materials, including Port Hills Gravel formation siltstone and mudstone, with a batter slope less than 26° (1 V: 2H).
8. All cuts or batters greater than 3.0 m in height shall be subject to specific investigation and design by a chartered professional engineer practising in geotechnical engineering or by an experienced engineering geologist.
9. Retaining walls greater than 1.2 m in height shall be specifically investigated, designed and inspected during construction by or under the direction of a chartered professional engineer practising in civil or geotechnical engineering. Engineering design shall be reviewed by a chartered professional engineer practising in geotechnical engineering who shall also inspect all excavations for the wall so as to confirm the suitability of the design for the prevailing ground conditions.
10. All structural fills, including for driveways and parking areas, and other fills over 0.5 m in thickness shall be certified as complying with NZS 4431: 1991 – *Code of Practice for Earth Fill for Residential Development*. All other fills shall be placed in a competent manner with track rolling in thin incremental layers and shall include adequate stripping, benching and drainage of the underlying materials. All fills over 1.2 m in thickness shall be placed under the supervision of a chartered professional engineer practising in civil or geotechnical engineering or by an experienced engineering geologist.
11. Any application for building and/or resource consent for earthworks shall be accompanied by a site specific sediment and erosion control plan. The plan shall detail the measures that will be implemented and maintained prior to and during building works or earthworks so as to minimise erosion and sediment runoff. These measures may include stabilised construction entrances, silt fences and earth bunds complying with Nelson City Council Engineering Standards 2003 items XI-3(d), XI-4(b) and XI-4(d).
12. As required by a consent notice on the titles of lots 33 to 51 inclusive and Lot 53, lot owners shall maintain a topsoil and vegetation cover across the steep slopes of the lots, particularly those steeper than 22° (2.5H: 1V), so as to minimise erosion as a result of surface runoff and to enhance slope stability. Alternatively, exposed ground can be covered by a suitable protective matting. The placement of matting shall be under the supervision of a chartered professional engineer practising in geotechnical engineering or by an experienced engineering geologist.

B - Additional Sub-conditions Specific to Lots 33, 34, 37, 38 and 41 within the NZS 3604: 2011 Compliance Zone

The zone is defined on Golder Associates Drawing 5 *Development Criteria – Stage 2*, dated September 2011 and generally meets the requirements of "good ground" as defined in *NZS 3604: 2011 – Timber Framed Buildings* although one of four Scala penetrometer (DCP) tests undertaken by Golder Associates on each lot revealed localised areas of soft ground. Verification of ground conditions by a chartered professional engineer or by an engineering geologist is required.

13. For foundations complying with NZS 3604 the suitability of the bearing ground shall be verified by a chartered professional engineer practising in civil engineering and experienced in foundation design or by an experienced engineering geologist.
14. Foundations not complying with *NZS 3604* shall be specifically investigated, designed and inspected during construction by or under the direction of a chartered professional engineer practising in civil engineering and experienced in foundations.

C - Additional Sub-conditions Specific to Lots 42 to 46 inclusive and Lots 51 and 53 within the NZS 3604: 2011 Compliance Zone

Building sites within the zone, defined on Golder Associates Drawing 5 *Development Criteria – Stage 2* dated September 2011, are in part underlain at depth by a reinforcing geogrid comprising part of a Mechanically Stabilised Earth (MSE) Wall. The depth of the geogrid below the existing ground surface at the time of 224 Certification varies between approximately 1.0 m at Lot 46, 2.0 m at lots 44 and 45 and 3.0 m for lots 42, 43, 51 and 53.

15. Foundations or excavations that are equal to or greater than the anticipated geogrid depth shall be designed and constructed to maintain the integrity of the MSE Wall.
16. As required by a consent notice on the titles of the lots, if the geogrid is to be penetrated to facilitate any foundation construction a suitably controlled methodology of cutting the geogrid shall be designed by a chartered professional engineer practising in geotechnical engineering and implemented prior to site works commencing.
17. Except where foundations are present, and as required by a consent notice on the titles of the lots, a minimum thickness of 1 m of undisturbed engineered fill shall remain above the geogrid.
18. As required by a consent notice on the titles of the lots, on completion of the foundations the chartered professional engineer verifying the ground conditions shall confirm in writing to the Nelson City Council that the integrity of the geogrid has not been compromised and that suitable measures have been implemented to mitigate against erosion of the MSE Wall.

D – Additional conditions specific to lots 35, 36, 37, 39, 40 and 46 within the NZS 3604: 2011 Compliance Zone

These lots are bounded in part by a timber facing walls of varying heights

19. Building works shall be positioned a minimum of 3 m from the line of an existing timber facing wall the eastern boundary of Lot 35 and the western boundary of Lot 36. Any development of the lots shall take into account the design of the wall.

20. Building works shall be positioned a minimum of 2 m from the line of an existing timber facing wall on the eastern boundary of Lot 36, and existing timber facing walls bounding lots 37, 39, 40 and 46. Any development of the lots shall take into account the design of the wall.

E - Additional Conditions Specific to part of Lot 40 within the *Site Specific Investigation Zone*

The *Site Specific Investigation Zone* is defined on Golder Associates Drawing 5 *Development Criteria – Stage 2*, dated September 2011, and comprises natural sloping ground.

21. Foundations for all structures requiring a building consent within the *Site Specific Investigation and Design Zone*, including those straddling the *NZS 3604: 2011 Compliance Zone* and the *Site Specific Investigation and Design Zone* boundary, shall be specifically investigated, designed and inspected during construction by or under the direction of a chartered professional engineer practising in civil or geotechnical engineering. Engineering design shall be reviewed by a chartered professional engineer practising in geotechnical engineering or by an experienced engineering geologist who shall also inspect all excavations for the foundations and confirm to the supervising chartered professional engineer that the design is suitable for the prevailing ground conditions.
22. All earthworks, involving cuts or fills greater than 0.6 m in height or thickness, shall be specifically investigated, designed and inspected during construction by or under the direction of a chartered professional engineer practising in geotechnical engineering or by an experienced engineering geologist.
23. Retaining walls shall be specifically investigated, designed and inspected during construction by or under the direction of a chartered professional engineer practising in civil engineering. The design of retaining walls over 1.2 m in height shall be reviewed by a chartered professional engineer practising in geotechnical engineering who shall also inspect all excavations for the wall.

F - Additional Conditions Specific to parts of Lots 42 to 46 inclusive and Lots 48 to 51 inclusive and Lot 53 within the *Deep subsoil/Stormwater Drain Zone*

Deep subsoil and stormwater drains exist at depths of greater than 3 m below the ground surface at the time of 224 Certification within the zone as approximately depicted on Golder Associates drawing *Development Criteria – Stage 2*, dated September 2011. The zone includes an area within 1 m either side of each drain.

24. Earthworks and foundations within the designated *Deep subsoil/Stormwater Drain Zone*, which extends to more than 3 m below the ground surface at the time of 224 Certification, shall be specifically investigated, designed and inspected during construction by or under the direction of a chartered professional engineer practising in civil or geotechnical engineering and experienced in foundation design. Foundations shall be designed to ensure that there is no adverse influence on the performance of any drain. The positions of the drains are shown on Golder Associates Drawing 3 *Final Landforms and Drainage – Stage 2*, dated September 2011.
25. On completion of the earthworks and/or foundations in the *Deep subsoil/Stormwater Drain Zone* the chartered professional engineer referred to in Condition 24 shall confirm in writing to the Nelson City Council that the integrity of the deep subsoil or stormwater drains has not been compromised.

G – Additional conditions specific to Lots 34 to 36 comprising the Shallow Subsoil/Stormwater Drain Zone

The lots contain shallow subsoil drains between existing ground level at the time of 224 Certification and 3 m depth as approximately shown on Golder Associates Final Landforms and Drainage plan, dated September 2011, and approximately depicted on Golder Associates drawing 5 *Development Criteria – Stage 2*, dated September 2011 and Land Development drawing 1 *Lots 35 & 36 Extra Stormwater Asbuilt*, dated October 2011.

26. As required by a consent notice the owners of the lots are responsible for maintaining the subsoil drains.
27. Earthworks and foundations that extend between ground level, as existing at the granting of 224 certification, and a depth of 3 m deep, and including the area within 1 m either side of the drains, shall be designed by a chartered professional engineer practising in civil engineering and experienced in foundation design. Foundations shall be designed to ensure that there is no adverse influence on the performance of any drain.
28. On completion of the foundations the chartered professional engineer referred to in the Condition 27 shall confirm in writing to the Nelson City Council that the drainage has not been compromised by earthworks or foundations.

H - Additional Sub-conditions Specific to parts of Lots 42 to 51 inclusive and Lot 53 comprising the Mechanically Stabilised Earth Wall within the *Restricted Zone*

These lots are supported in part by a MSE Wall comprising a series of buried horizontal layers of polymer reinforcing geogrid. The upper most grid layer which forms MSE W1 extends approximately 10 m into the face along the 45 m ASL contour on lots 47 to 51 inclusive and Lot 53. The upper most layer of geogrid of MSE W2 extends approximately 15 m into the face along the 58 m ASL contour on Lots 44 to 45, along the 56 m ASL contour of Lot 46. The upper most layer of geogrid MSE W3 extends approximately 15 m into the face along the 47 m ASL contour on Lots 42 and 43. The approximate extents of the uppermost layers of reinforcing geogrid are shown on Golder Associates Drawing 5 *Development Criteria – Stage 2*, dated September 2011.

The lots containing the MSE Wall each comprise an area designated by Golder Associates as *NZS 3604: 2011 Compliance Zone*, which is suitable for building on without further geotechnical input. The areas, with the exception of lots 50, 51 and 53, are generally of sufficient size for average sized dwellings. On lots 50, 51 and 53, along with larger buildings on the remaining lots, may need to extend on to steeper parts of the lots which are within *Restricted Zone* designated on Golder Associates drawing *Development Criteria – Stage 2*, dated September 2011.

Development within the *Restricted Zone* is possible provided measures are implemented to protect the geogrid and assure its long term mechanical effectiveness and overall stability of the southern slope.

29. For foundations complying with NZS 3604 the suitability of the bearing ground shall be verified by a chartered professional engineer practising in civil engineering and experienced in foundation design or by an experienced engineering geologist.
30. Foundations within the *NZS 3604: 2011 Compliance Zone* not complying with *NZS 3604* and for all foundations in the *Restricted Zone* shall be specifically investigated, designed and inspected during construction by or under the direction of a chartered professional engineer practising in civil engineering and experienced in foundations.

31. As required by a consent notice on the titles of lots 42-46 inclusive, 51 and 53, if the geogrid is to be penetrated to facilitate any foundation construction a suitably controlled methodology of cutting the geogrid shall be designed to by a chartered professional engineer practising in geotechnical engineering and implemented prior to site works commencing.

Explanatory Notes:

- 1) The approximate horizontal extent of the geogrid beneath the lots is shown on Golder Associates Drawing 5 *Development Criteria - Stage 2*, dated September 2011. The depth to the top layer of the geogrid below the ground surface at the time of 224 Certification varies between approximately 1.0 m at Lot 46, 2.0 m at lots 44 and 45 and 3.0 m for lots 42, 43, 51 and 53.
 - 2) Pole and/or pile foundations may penetrate the geogrid provided there is minimal disturbance and damage to it.
32. As required by a consent notice on the titles of the lots, no excavations within the MSE Wall or the ground down slope of it shall proceed without specific investigation and approval of a chartered professional engineer practising in geotechnical engineering. The chartered professional engineer shall take all necessary steps, including auguring, to accurately locate the geogrid prior to excavation commencing.
33. As required by a consent notice on the titles of the lots, a minimum thickness of 1 m of undisturbed engineered fill shall be left above the geogrid at all times.
34. As required by a consent notice on the titles of the lots a cover of either topsoil and suitable vegetation or another form of erosion control shall be maintained on the steep southern slope of the MSE wall so as to ensure that the geogrid is protected and that exposure and erosion of the fill material between the layers of geogrid is avoided.
35. As required by a consent notice on the titles of the lots, on completion of the foundations the chartered professional engineer verifying the ground conditions in Condition 29 or supervising the foundations in Condition 30 shall confirm in writing to the Nelson City Council that the integrity of the geogrid and the MSE wall generally has not been compromised and that suitable measures have been implemented to mitigate against erosion of the MSE Wall.

I - Additional Sub-conditions Specific to parts of Lots 33 to 41 inclusive within the *Restricted Zone*

The parts of the lots adjacent to the northern boundary of the subdivision comprise a relatively steep slope immediately below residential properties fronting Stanley Crescent.

36. As required by a consent notice on the titles of the lots no development, including earthworks, shall take place within the *Restricted Zone* as defined on Golder Associates Plan Fig. 7A *Development Criteria* (ref. 077832001), dated March 2011.

Explanatory Notes:

- 1) The above does not preclude hand excavated paths, resulting in minimal ground disturbance as part of garden landscaping and the establishment and maintenance of a suitable vegetation cover within the zone. Cuts or fills shall not exceed 0.3 m in height or depth,
- 2) With the implementation of mitigation measures, earthworks or building may be possible within the *Restricted Zone* but any application to Council for resource and/or building consents for such activities shall be accompanied by a geotechnical report and/or certification from a chartered professional

engineer practising in geotechnical engineering or from an experienced engineering geologist and recognised as such by the Nelson City Council.

37. As required by a consent notice, the owners of lots shall establish and maintain a topsoil and vegetative cover or other measures, such as coconut matting, so as to minimise erosion and enhance slope stability within the *Restricted Zone*.
38. As required by a consent notice on the titles of lots 33 to 51 inclusive a cut off swale drain depicted on Golder Associates drawing *Final Landforms and Drainage – Stage 2*, dated September 2011, and Nelson City Council Drawing 36-1318-AB_02 and 36-1318-AB_03 shall be maintained so as to facilitate interception of surface flows and their conveyance to the Nelson City Council Stormwater System.

J - Additional Sub-conditions Specific to parts of Lots 42 to 51 inclusive within the *Restricted Zone*

39. As required by a consent notice on the titles of lots 33 to 51 inclusive a cut off swale drain depicted on Golder Associates drawing *Final Landforms and Drainage – Stage 2*, dated September 2011, and Nelson City Council Drawing 36-1318-AB_02 and 36-1318-AB_03 shall be maintained so as to facilitate interception of surface flows and their conveyance to the Nelson City Council Stormwater System.

Golder Associates (NZ) Ltd *Earthworks Completion report, Valley Heights Subdivision Stage 2, Russell Street, Nelson Geotechnical Completion Report* (ref. R077832025/01, dated September 2011 [HTTP://Tardis/1130116](http://Tardis/1130116), *Certification of Fill Compliance: Valley Heights Subdivision Stage 2*, dated 24 August 2011 [HTTP://Tardis/1149650](http://Tardis/1149650), and *Amended Certificate of Professional Opinion as to Suitability of Land for Building Development*, dated 16 September 2011 [HTTP://Tardis/1148648](http://Tardis/1148648) relate to the general suitability of the building sites and do not remove the need for specific site investigation, design and inspection as required by the Building Code, NZS 3604: 2011 and NZS 4431: 1989.

Date entered: 25 October 2011.

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Legend

- Storm water manhole
- Storm water sump
- - - Storm water drain
- Cut off drain
- ▶▶▶ Deep sub soil drains
- ▶▶▶ Shallow subsoil drain (approximate position)
- Contours (1m)
- Borehole (VHS2_BH1)

1. Base drawing produced and supplied by Land Dimensions Ltd. Schematic only, not to be interpreted as an engineering design or construction drawing
 2. Changes in contour lines within Lot 40 are not shown

Datum: NZGD 2000
 Projection: Transverse Mercator



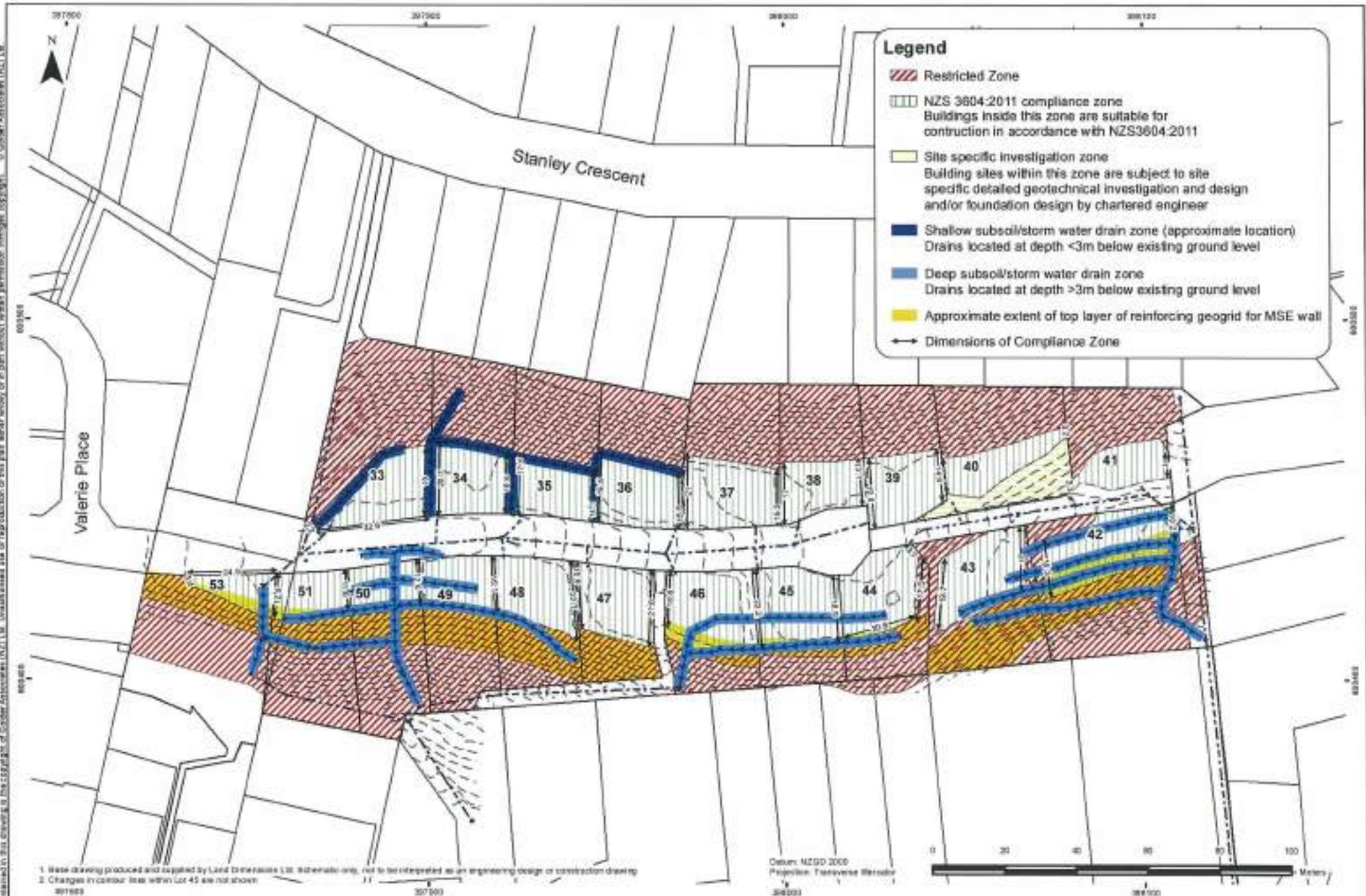
1118 | FINAL LANDFORMS AND DRAINAGE - STAGE 2

APRIL 2012

PROJECT | 0778302980



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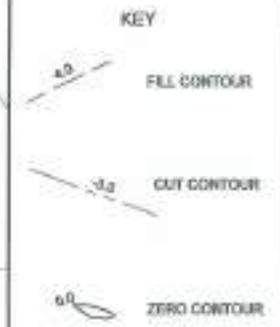


1. Base drawing produced and supplied by Land to the public Ltd. Schematic only, not to be interpreted as an engineering design or construction drawing.
 2. Changes in colour (as shown Lot 45 are not shown).





Notes
 (1) Verify all dimensions on site.
 (2) Do not scale from drawing.
 (3) ISO Contours are based on Natural Surface as Supplied by Stag & Smith and Finished Ground Surface as Determined by Land Dimensions.
 Land Dimensions takes no responsibility for the accuracy of the Natural Surface.
 (4) Contours are at 1m intervals.



No.	Amendment	Date
		Design Design Management
 LAND DIMENSIONS		
<small>12 Gibraltar Place 40/42a 22A, Suite 403/404</small>		
		<small>Phone 020 871 0200 Fax 020 871 0200 email@landdimensions.co.uk</small>

	Design:
	Drawn: HW
	Checked:
	Approved:
	Date: MAY 2011

Job Title
**FARR DEVELOPMENTS LTD
 VALLEY HEIGHTS STAGE 2**

Drawing Title
**ISO CONTOUR
 PLAN**

Scale 1:500 @ A1	DWG 1
AB No: 10070	Sheet 1 of 1



- Notes
- (1) Verify all dimensions on site.
 - (2) Do not scale from drawing.
 - (3) Levels in Terms of MCG Datum
 - Origin of Levels: SP 4 CP 503464 RL = 40.00
 - (4) Contours are at 1m intervals
 - (5) Contours are of Finished Contourwork
 - Top-Sloped Surface

No. Amendment: _____ Date: _____

Surveying
Design
Management



LAND DIMENSIONS

11 Kildare Place
PO Box 1024, Waverley
NSW 1570

Phone: 02 9339 5700
Fax: 02 9339 5701
www.landdimensions.com.au

	Design
	Drawn: HPH
	Checked:
	Approved:
Date: MAY 2011	

Job Title

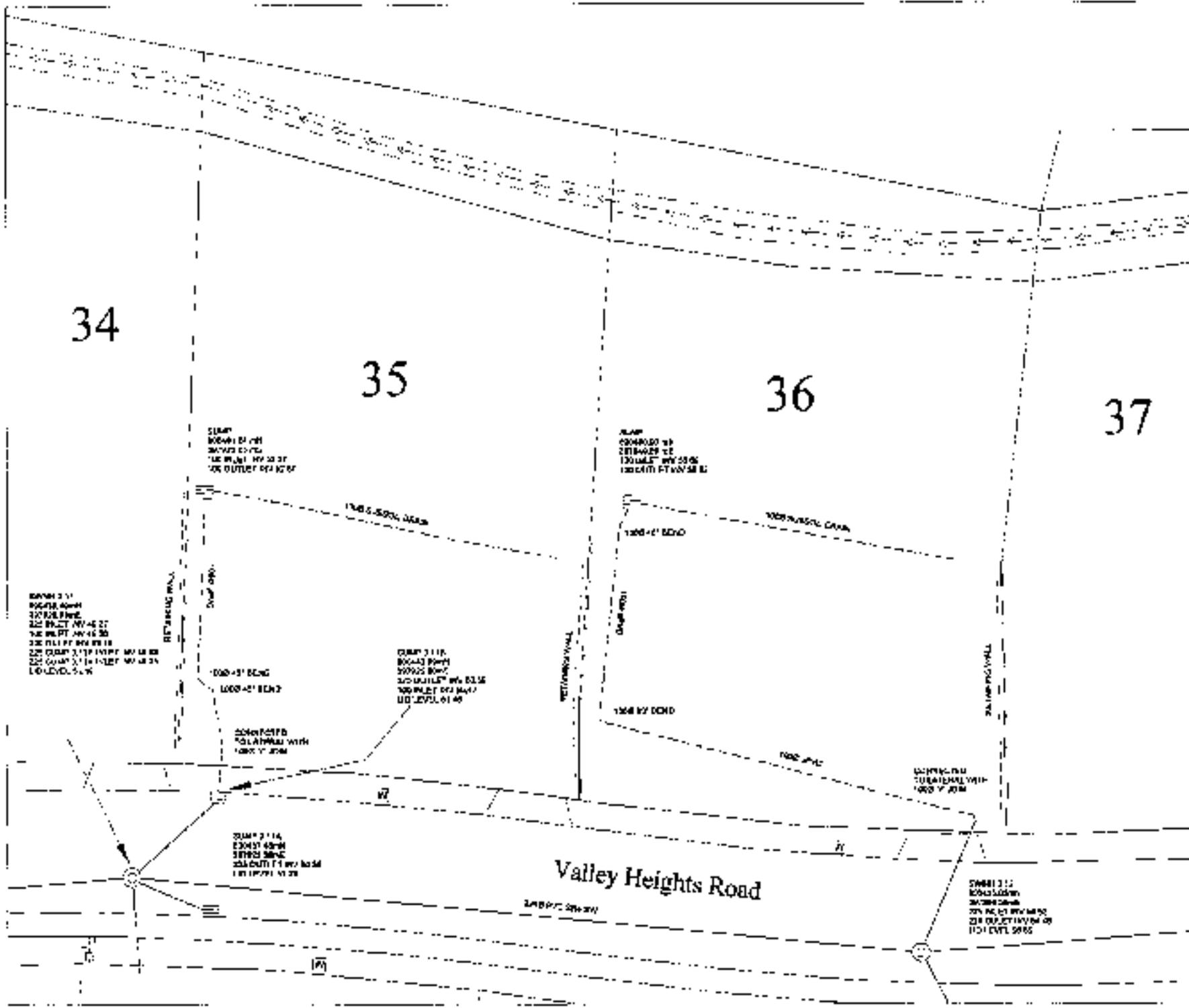
**FARR DEVELOPMENTS LTD
VALLEY HEIGHTS STAGE 2**

Drawing Title

**FINISHED LEVEL
GROUND CONTOURS
MAY 2011**

Date: 12/01/11	DWG 1
Job No: 10076	Sheet 1 of 1

- 3/28/11
- (1) Verify all dimensions at site
 - (2) Survey Stake for 400' W
 - (3) Coordinate in Terms of 500' W
 - Notes:
 - Level of Top of 400' Pipe
 - Grade of Level
 - SP = 38.540
 - R = 100'
 - (4) All Construction marks Ground
 - Method
 - (5) Government plotted and/or information shown on Plan



No. Approved: _____ Date: _____
 Engineer: _____
 Surveyor: _____



LAND DIVERSION
 10000 Valley Heights Road, Suite 200
 Dallas, TX 75244
 Phone: 972.440.1111
 Fax: 972.440.1112
 www.landdiversion.com

APPROVED: _____

FOR OFFICE USE ONLY: NO TECHNICAL SERVICES

	Design:	_____
	Drawn:	_____
	Checked:	_____
	Approved:	_____

FARR DEVELOPMENTS LTD
 VALLEY HEIGHTS STG 2

Drawn To:
 LOTS 35 & 36 EXTRA
 STORMWATER
 ASBUILT

Scale: 1" = 40'	Sheet:
Job No: 008	Drawn By: J. J.



Notes (1) Verify all dimensions on site (2) Do not scale from drawing (3) Coordinates in Terms of GCS950 Network Circuit Levels in Terms of MCG Datum Origin at Level BM = 49.200m RL = 45.83 (4) Main Contractor for the Work to Cover Manhole with Chain Connecting connecting sewer, stormwater and water (5) Contractor has supplied additional information shown on Plan (6) All Stormwater laterals are 100 Ø PVC SN 4	
NCC PLAN No. 36-1318-AB	
SERVICABLE AREA FOR GRAVITY SN 4 SS ON DOWNHILL ALLOTMENTS WHERE SERVED FROM VALLEY HEIGHTS RT	
1 WMOUS NCC REQUESTS	802011
No. Amendment	Date
 Design Management	
12 Shireway Road PO Box 226, Berr Australia Phone: 08 9457 4758 Fax: 08 9457 4039 Email: info@landdimensions.com.au	
APPROVED 04 OCT 2011	
EXECUTIVE MANAGER NETWORK SERVICES	
Job File FARR DEVELOPMENTS LTD VALLEY HEIGHTS STG 2	
Drawing Title STORMWATER ASBULT PLAN RM 950109	
Scale: 1:250 (A4)	DWG: 1
Job No: 10019	Sheet: 018

